



THE EAST SIDE COMMERCIAL BUILDING STABILIZATION FUND

2026

EAST SIDE COMMERCIAL STABILIZATION BUILDING FUND AWARDEES



1369 Jefferson Avenue



1517 Genesee Street



198 Emslie Street



349 Broadway Street



562 Genesee Street



578 Michigan Avenue



625 William Street



1163 Jefferson Avenue



1362 Jefferson Ave

ABOUT THE STABILIZATION PROGRAM

When the program was launched by Empire State Development and contracted with Preservation Buffalo Niagara to administer the program in 2020, the initial grant funding was set for \$50,000. The owners were not required to give any contribution. It quickly became evident that this level of funding was not sufficient to create a meaningful impact with the larger work scopes. Many of the buildings faced significant deterioration and needed substantial structural repairs well beyond installing a new roof or addressing masonry repointing. Years of harsh Buffalo winters and prolonged water intrusion had resulted in mold growth, asbestos contamination, and other environmental hazards. In several cases, properties exhibited severe structural instability that placed them at risk of being demolished by the City of Buffalo or to protect public safety.



ABOUT THE PROGRAM

Each awardee received \$150,000 in funding, and in select cases, we advocated for additional support to ensure projects could achieve greater impact. In total, Preservation Buffalo Niagara invested between \$3 million and \$3.5 million into this program across Buffalo's East Side commercial corridors. The primary objective of the initiative was to protect the built environment from further deterioration and to reduce the City of Buffalo's reliance on demolition on the East Side of Buffalo. At the same time, the program helped property owners strengthen and preserve generational wealth by stabilizing their buildings and expanding long-term economic opportunity for their families.



Constance Strother,
PBN's East Side
Commercial
Stabilization Building
Fund Specialist

1369 JEFFERSON AVENUE

Significant stabilization work has been completed at 1369 Jefferson Avenue, where advocacy efforts successfully doubled the award amount to \$300,000. Improvements include new steel supports and columns in the basement, new concrete pads to carry the upgraded beams, and new framing installed across all three floors. Asbestos abatement was completed in advance of roof work, which now includes two new roofs and a rebuilt Mansard roof with an entirely new gutter system. Additional interior structural framing has been added to accommodate new window openings, and comprehensive structural reinforcement throughout the basement now provides improved support for the upper floors



1517 GENESEE STREET

At 1517 Genesee Street, home of the Juneteenth Headquarters, advocacy efforts secured an increase in funding from \$150,000 to \$300,000 to support critical exterior repairs. Recent work includes the installation of new gutters and downspouts, targeted masonry restoration along the west and south walls, and the addition of new capstones designed to match the historic parapet at the front of the building. These improvements strengthen the building envelope while preserving the character of this important cultural landmark.



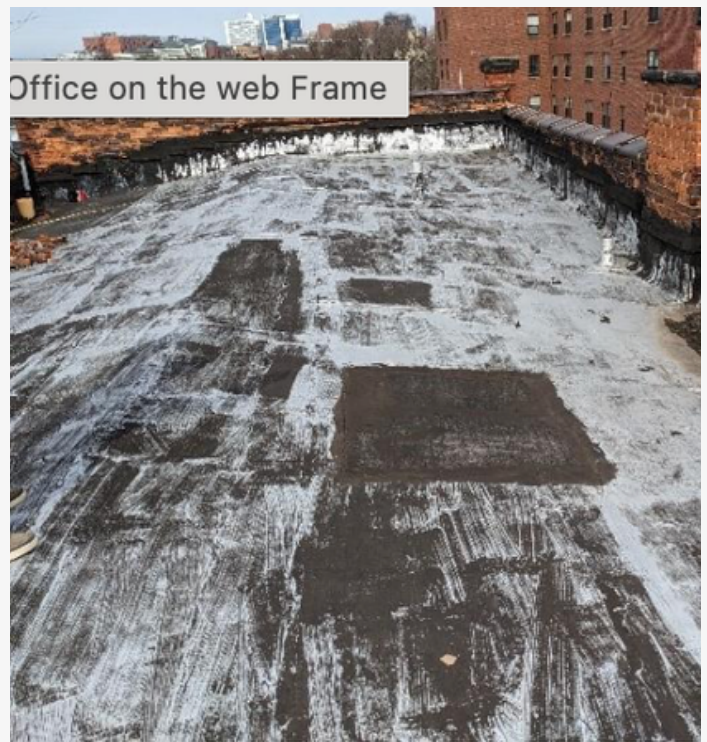
198 EMSLIE STREET

At 198 Emslie Street, the historic Sacred Heart Church has received essential exterior and structural repairs to stabilize and protect the building. Recent work includes a new rear roof over the chapel area, comprehensive masonry restoration across all exterior walls, and the full rebuilding of the buttress supports that anchor the structure. New gutters and downspouts have also been installed along both sides of the church, improving drainage and safeguarding the masonry for the long term.



349 BROADWAY STREET

At 349 Broadway Street, advocacy efforts secured an increased award of \$350,000 to support extensive stabilization and exterior repairs. Recent work includes creative masonry reconstruction to rebuild a deteriorated wall and incorporate a new access door from the adjoining roofline, as well as full asbestos abatement. The building now benefits from new roofing, gutters, and downspouts, along with a rebuilt front structural support system beneath the parapet. Crews also removed a tree that had taken root in the courtyard and grown into the gutter system, preventing further damage to the building envelope.



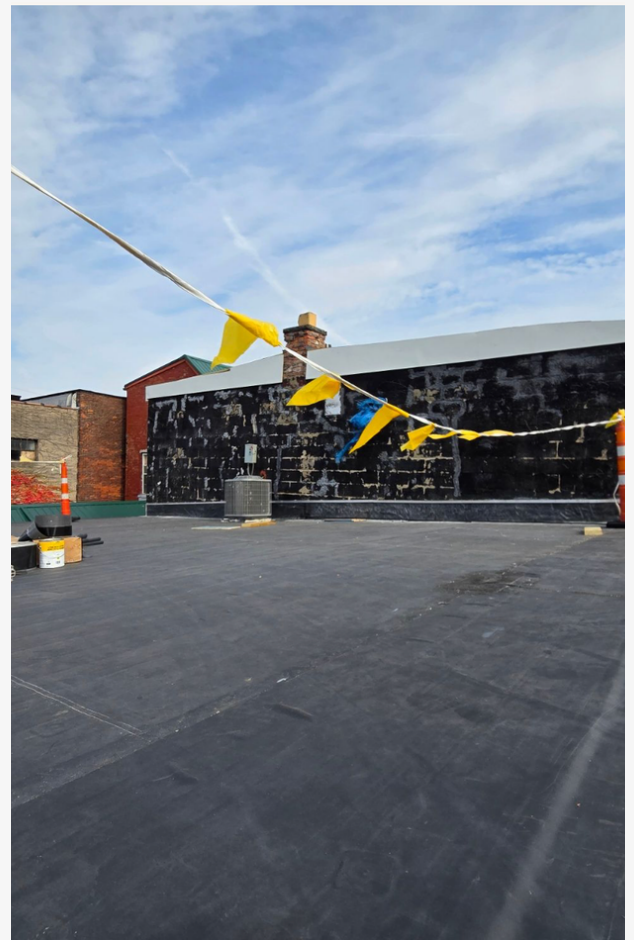
562 GENESEE STREET

At 562 Genesee Street, the Ukrainian Cultural Center received a funding increase from \$150,000 to \$200,000 after we successfully advocated for an additional \$50,000 to support expanded repair work. Recent improvements include the installation of a new flat roof and the reconstruction of the deteriorated parapet system, ensuring the building remains weather-tight and structurally sound while preserving its historic character.



578 MICHIGAN AVENUE

At 578 Michigan Avenue, important stabilization and building-envelope improvements are underway. Work began with full asbestos abatement to prepare the structure for major exterior upgrades, followed by the installation of two new roofing systems to protect the building from ongoing water infiltration. Crews also reinforced a compromised wall section, strengthening the overall structure and laying the groundwork for future rehabilitation efforts



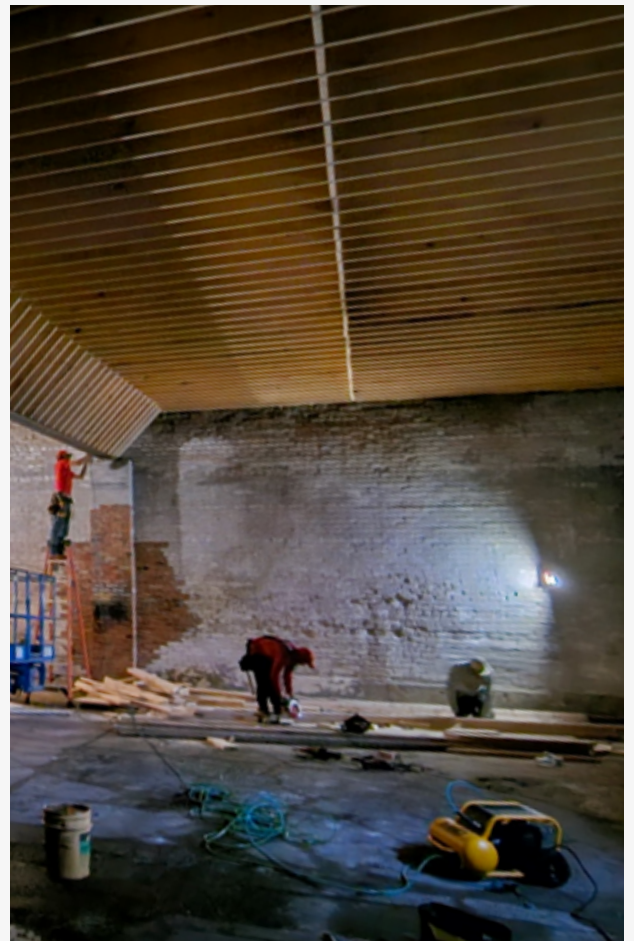
625 WILLIAM STREET

At 625 William Street, home of the historic Criterion Building, advocacy efforts successfully doubled the original \$150,000 award to \$300,000 to support an expanded scope of critical repairs. The project features a full roof replacement using a high-performance spray-foam roofing system—an exceptionally durable but costly material well-suited to Buffalo’s wind, rain, and snow, and offering a longer warranty than standard roofing. Crews also spray-foamed the failing parapet walls, sealed old roof vents, and applied a light-gray silicone weather-barrier topcoat at 1.5 gallons per square. Additional improvements include a new scupper system, targeted masonry repair and repointing, and a new exterior steel safety door. Interior asbestos abatement is still needed; however, the owners are exploring solutions to protect the building’s unique antique printing equipment, which holds significant historic and industrial value



1163 JEFFERSON AVE

1163 Jefferson Avenue underwent a comprehensive stabilization as part of the East Side Commercial Building Stabilization Program, including the installation of two new roofs with integrated gutter systems, reframing of the side and rear walls, construction of a new front parapet, new framing for an upgraded storefront window opening, rehangng and alignment of the garage door, and the installation of all new plumbing and electrical systems—complete with separated metering to support three future commercial spaces envisioned for a state-of-the-art gym, a smoothie/juice bar, and two additional retail units.



1362 JEFFERSON AVE

1362 Jefferson Avenue—future home of The Golden Cup—first received \$50,000 during the pilot round of the East Side Commercial Building Stabilization Program, which funded a new roof completed in 2021. The overwhelming need demonstrated by this initial cohort prompted the State to allocate additional resources, allowing this property to receive a second, invitation-only award of \$100,000 for expanded stabilization work. This next phase included new sub-flooring on both the first floor and basement levels, installation of new structural support columns in the basement, construction of new storefront window openings—where Program Administrator Constance Strother is pictured—and the creation of new openings for a relocated front staircase from the basement as well as improved rear basement access.

